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Cassidy
& Tate
Your Local Experts



Award Winning Agency

WATSONS WALK

ST. ALBANS

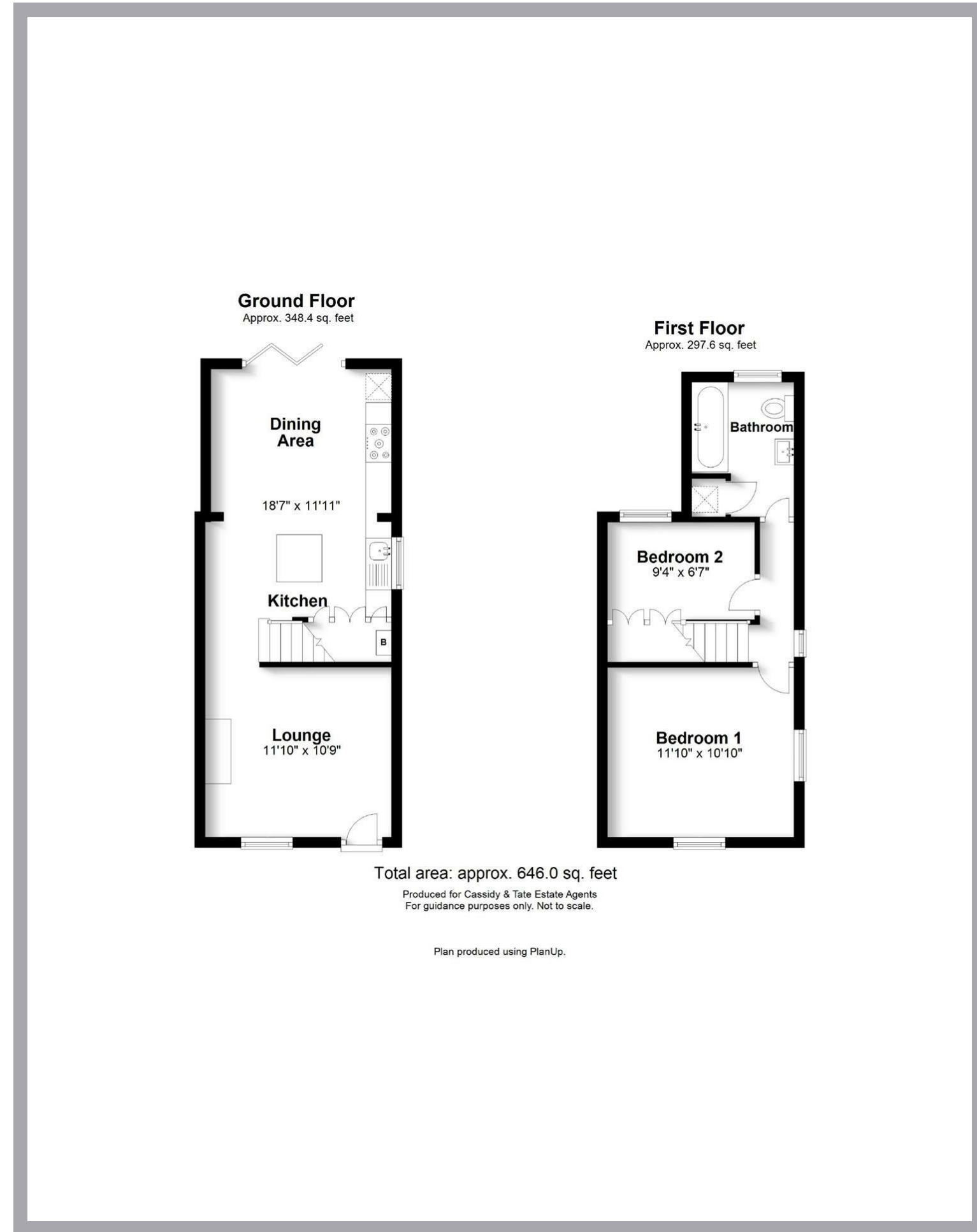
ALI IPD



All The Ingredients Needed For A Fabulous Lifestyle

A pretty two bedroom character cottage which is conveniently located within walking distance of the city centre and the mainline railway station, linking St. Albans to London, St Pancras in just under 30 minutes. The property has recently undergone some re-modelling and has been lovingly refurbished throughout. A good sized double extension to the rear has provided an excellent eat-in kitchen complete with an extensive range of cupboard space including a breakfast island and space to fit a dining table. Patio doors from the dining area open to a lovely west facing courtyard garden, perfect for the coming summer evenings. The well proportioned lounge is a welcoming room with feature brick wall and open fireplace that lends a cosy feel. Upstairs are two good sized bedrooms and a stylish newly fitted family bathroom.

Watsons Walk is classed as a conservation area which always proves to be popular with professionals. St. Albans city centre with its twice weekly bustling market, shopping and leisure facilities plus many cosmopolitan bars are just a stroll away. As are the beautiful open spaces of Verulamium, and the leisure facilities of Westminster Lodge.



Cassidy & Tate have taken all reasonable steps to ensure the accuracy of the details supplied in our marketing material however, details are provided as a guide only and we advise prospective purchasers to confirm details upon inspection of the property. Cassidy & Tate will not be held liable for any costs which are incurred as a result of discrepancies.

Perfect Fusion of Location And Way of Living

Why Cassidy & Tate

Cassidy & Tate are a fully independent estate agent who have developed unparalleled understanding on how people want to buy, sell and rent property within the residential property market in Hertfordshire and its surrounding areas. We are able to accommodate your individual requirements and deliver to you a more personalised service, tailored to your home buying, selling and letting needs.

We also have many years of experience in land and new homes and the pleasure of working alongside many reputable house builders and developers in Home Counties and Greater London. Whether you are looking to acquire or sell development opportunities and land, wish to purchase or sell a newly built or refurbished property, or require a site valuation and marketing advice we can help.

Your Local Property Experts

As one of St. Albans leading estate agents we work relentlessly to ensure our valued customers receive the exceptional service they deserve at all times. We epitomise not only professional estate agency knowledge, but a dedication to integrity and responsiveness to every client. The Cassidy & Tate team will be available to you when in need to help overcome any stressful situations that may arise. We are here to offer you valuable and honest advice when needed so that you can navigate the best path through the process. We know the marketplace, the buyers, the sellers and neighbourhoods, but most importantly we know how to put our clients' needs first. Our state of the art sales tools, modern technology and our own in-house fully independent Mortgage Broker is here to make your journey easier and more direct to your final goal. At Cassidy & Tate you will be in control of your sale or purchase and we will help you get the best result possible



Cassidy&Tate

Specialists in Bespoke Properties

- Close To Station
- Two Bedrooms
- Semi Detached
- Extended To Double To Rear
- Close To Town Centre
- First Floor Bathroom
- Period Property
- Courtyard Garden

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G		1	1
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G		1	1
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	

